



HiLine Property Inspections LLC DBA National Property Inspections

Property Address, Shelby, MT, 59474



Monday, March 28, 2022

Inspector

Howard Cliver

406-460-1426

howard.cliver@npiinspect.com

NACHI 21101751

Inspection Date:
03/28/2022

Inspector: Howard Cliver
Inspector Phone: 406-460-1426

Email: howard.cliver@npiinspect.com
NACHI 21101751



HiLine Property Inspections LLC DBA National Property Inspections

Property Address, Shelby, MT, 59474

GENERAL INFORMATION

GENERAL CONDITIONS AT TIME OF INSPECTION :

Property Occupied : No Estimated Age Of Property : 71 Year(s) Property Faces : <input type="checkbox"/> North <input type="checkbox"/> South <input checked="" type="checkbox"/> East <input type="checkbox"/> West Type of Property : <input checked="" type="checkbox"/> Single-Family Primary Construction : <input checked="" type="checkbox"/> Wood	Temperature : 60 F Weather : <input checked="" type="checkbox"/> Sunny Soil Conditions : <input checked="" type="checkbox"/> Dry Persons Present : <input checked="" type="checkbox"/> Buyer
---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------

DEFINITIONS :

Below are listed the definitions used throughout the report to describe each feature of the property.

ACC (ACCEPTABLE)	The item/system was performing its intended function at the time of the inspection.
MAR (MARGINAL)	The item/system was marginally acceptable. It performed its designed function at the time of the inspection. However, due to age and/or deterioration, it will likely require early repair or replacement.
NI (NOT INSPECTED)	The item/system was not inspected due to safety concerns, inaccessibility and/or concealment or seasonal conditions and no representations of whether or not it was functioning as intended were made.
NP (NOT PRESENT)	The item/system does not exist or was visually concealed at the time of the inspection.
DEF (DEFICIENT)	The item/system failed to operate/perform its intended function, was structurally deficient, was unsafe or was hazardous at the time of the inspection.

SCOPE OF THE INSPECTION :

We wish to remind you that every property requires a certain amount of ongoing maintenance: drains sometimes clog, gutters, downspouts and the grading around the property must be properly maintained to help prevent water intrusion in to the basement or crawlspace; roofs, furnaces, air conditioners and other components require regular maintenance and inspection. This property will be no exception and we strongly suggest that you both expect and budget for regular maintenance/repairs.

The following report is based on visual inspection of the readily accessible areas of this property and on a random sampling of like items, not every item was or could be inspected. Please read the entire report carefully, ask your inspector any questions you might have and obtain estimates or discuss noted items with a contractor before closing.

Inspection Date:
03/28/2022

Inspector: Howard Cliver
Inspector Phone: 406-460-1426

Email: howard.cliver@npiinspect.com
NACHI 21101751



HiLine Property Inspections LLC DBA National Property Inspections

Property Address, Shelby, MT, 59474

Summary

This summary is not the entire report. The complete report may include additional information of concern to the client. It is recommended that the client read the complete report.

1 GRADING / DRAINAGE

DEFICIENT

Negative to flat drainage observed around property. Recommend building up grade to ensure water drains away from foundation.

2 WALKS / STEPS

DEFICIENT

Severe cracking and general deterioration around property. Several trip hazards are present both in front on the sidewalk as well as at the back of the property.
Recommend further evaluation/repair by qualified contractor(s).

3 PORCHES / STOOPS

MARGINAL

Both front and back porches are settling away from house. Not uncommon for a property of this age.

4 PATIO

DEFICIENT

Back patio has several large cracks and is leaning towards the house causing negative drainage. Cracking is caused by settlement as well as heaving.
Recommend further evaluation/repair by qualified contractor(s).

5 FLASHING/VALLEYS

MARGINAL

Missing kick out flashing at front corner of garage. This is causing water to miss the gutter and drain directly onto the wood fascia. Recommend repair by qualified person(s).
Missing flashing at back corner of house and garage. Recommend repair by qualified person(s) to prevent further water damage and wood rot.

6 GUTTERS/DOWN SPOUTS

MARGINAL

The gutters were filled with asphalt roof granules which was inhibiting water to drain off the roof and flow through the gutters and downspouts properly.
Recommend cleaning out gutters and sealing any present leaks to ensure water is efficiently diverted away from the foundation.

Inspection Date:
03/28/2022

Inspector: Howard Cliver
Inspector Phone: 406-460-1426

Email: howard.cliver@npiinspect.com
NACHI 21101751



HiLine Property Inspections LLC DBA National Property Inspections

Property Address, Shelby, MT, 59474

GRADING / DRAINAGE

Recommend Repairs

ACC	MAR	NI	NP	DEF
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Near Level

Negative Slope

Comments:

Negative to flat drainage observed around property. Recommend building up grade to ensure water drains away from foundation.



Grading / Drainage:



Grading / Drainage:



Grading / Drainage: Negative slope at back patio



Grading / Drainage:

Inspection Date:
03/28/2022

Inspector: Howard Cliver
Inspector Phone: 406-460-1426

Email: howard.cliver@npiinspect.com
NACHI 21101751



HiLine Property Inspections LLC DBA National Property Inspections

Property Address, Shelby, MT, 59474

RETAINING WALLS

ACC	MAR	NI	NP	DEF
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Front

Brick

Comments:

Retaining wall appeared to be functioning as designed and is in good shape at time of inspection.



Retaining Walls: Front planter/retaining wall.

ROOFING

ACC	MAR	NI	NP	DEF
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Age: < 5 Year(s)

Design Life: 30-50 Year(s)

Layers: 1

100% Visible

Ladder at Eaves

Metal

Comments:

The overall condition of the roof covering was in acceptable conditions. No evidence of leaks or hail damage at time of inspection.

Leaks not always detectable.

Inspection Date:
03/28/2022

Inspector: Howard Cliver
Inspector Phone: 406-460-1426

Email: howard.cliver@npiinspect.com
NACHI 21101751

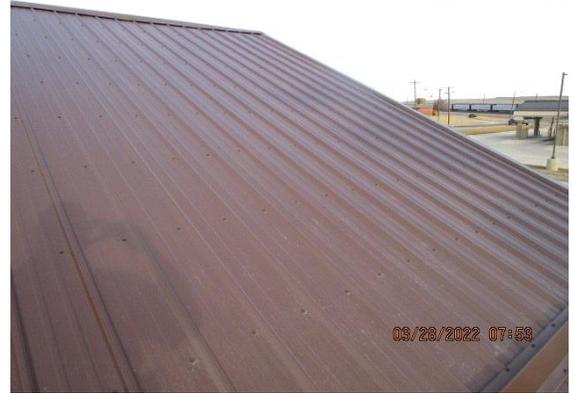


HiLine Property Inspections LLC DBA National Property Inspections

Property Address, Shelby, MT, 59474



Roofing:



Roofing:



Roofing:



Roofing:

FLASHING/VALLEYS

Monitor Condition

ACC	MAR	NI	NP	DEF
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Comments:

Missing kick out flashing at front corner of garage. This is causing water to miss the gutter and drain directly onto the wood fascia. Recommend repair by qualified person(s).

Missing flashing at back corner of house and garage. Recommend repair by qualified person(s) to prevent further water damage and wood rot.

Inspection Date:
03/28/2022

Inspector: Howard Cliver
Inspector Phone: 406-460-1426

Email: howard.cliver@npiinspect.com
NACHI 21101751



HiLine Property Inspections LLC DBA National Property Inspections

Property Address, Shelby, MT, 59474

CHIMNEY

Monitor Condition

ACC	MAR	NI	NP	DEF
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Brick / Masonry

Comments:

The overall condition of the chimney was in good condition with exception of no rain cap present. Recommend repair/evaluation by qualified person(s).

Flue not inspected. Annual cleaning is recommended.



Chimney:

EXTERIOR SURFACE

Recommend Repairs

- | | | | |
|--------------------------------------------------------|-------------------------------------------------|-------------------------------------------------------------------|-----------------------------------------------------------|
| <input checked="" type="checkbox"/> Vener | <input checked="" type="checkbox"/> Wood | <input checked="" type="checkbox"/> Cracked | <input checked="" type="checkbox"/> General Deterioration |
| <input checked="" type="checkbox"/> Needs Caulk / Seal | <input checked="" type="checkbox"/> Needs Paint | <input checked="" type="checkbox"/> Poor Earth / Siding Clearance | |

	ACC	MAR	NI	NP	DEF
SIDING/TRIM	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
EXTERIOR FAUCETS	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
EXTERIOR ELECTRICAL OUTLETS	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
EXTERIOR LIGHTING	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Comments:

Step cracking present on the North side. Has been sealed. Monitor for further cracking.

All wood siding needs to be scraped and painted. Several locations around property have no paint present which is causing damage. Recommend repair by qualified person(s).

Inspection Date:
03/28/2022

Inspector: Howard Cliver
Inspector Phone: 406-460-1426

Email: howard.cliver@npiinspect.com
NACHI 21101751



HiLine Property Inspections LLC DBA National Property Inspections

Property Address, Shelby, MT, 59474

Attic / Roof

Method of Inspection Physical Entry

ATTIC FRAMING/SHEATHING

ACC	MAR	NI	NP	DEF
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Rafters

Comments:

Roof rafters were 2 inch x 6 inch wood with purlins, 16 inches on center, with tongue and groove sheathing. The framing and sheathing were in acceptable condition with no visual flaws or defects.

There was light evidence of past water intrusion however there is no current indication of any current leaks from the roof at time of inspection.

Leaks not always detectable.



Attic Framing/Sheathing: Garage attic space with limited visibility. Evidence of past water intrusion.



Attic Framing/Sheathing: Garage attic

Inspection Date:
03/28/2022

Inspector: Howard Cliver
Inspector Phone: 406-460-1426

Email: howard.cliver@npiinspect.com
NACHI 21101751



HiLine Property Inspections LLC DBA National Property Inspections

Property Address, Shelby, MT, 59474



Attic Framing/Sheathing: House Attic



Attic Framing/Sheathing:



Attic Framing/Sheathing: House attic. Evidence of past water intrusion. Does not appear to be any new leaks with new roof installed.



Attic Framing/Sheathing:

ATTIC VENTILATION

ACC	MAR	NI	NP	DEF
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Gable

Comments:

The attic was ventilated properly. No deficiencies were observed at time of inspection.

Inspection Date:
03/28/2022

Inspector: Howard Cliver
Inspector Phone: 406-460-1426

Email: howard.cliver@npiinspect.com
NACHI 21101751



HiLine Property Inspections LLC DBA National Property Inspections

Property Address, Shelby, MT, 59474

ELECTRICAL

- Monitor Condition
- Recommend Repairs

SERVICE SIZE (Main Panel)

Main Disconnect Location: Laundry room 60 AMP

SERVICE SIZE (Sub Panel)

100 AMP

	ACC	MAR	NI	NP	DEF
SERVICE	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
ENTRANCE CABLE	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
PANEL	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
SUB-PANEL	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
BRANCH CIRCUITS	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
BONDING/GROUNDING	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
GFCI(IN PANEL)*	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
ARC FAULT	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
SMOKE DETECTORS*	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Comments:

Electrical service was provided by a 60-Amp meter base. Sub panel is 100 amp. This is insufficient to meet most homeowners electrical needs. Some insurance companies may require the electrical service be upgraded to 100-Amp or more within 30 to 90 days of closing, as a condition for insurance coverage. Consult with your insurance company regarding their policy on 60-Amp service prior to escrow. The main electrical shut off is in the sub panel in the laundry room.

Older 2-prong outlets were noted during the inspection of this property. For improved electrical safety, properly grounded three-prong outlets should be installed in the kitchen, bathroom, garage, outside, and wherever newer grounded appliances with three-prong plugs are to be used.

GFCI (Ground Fault Circuit Interrupter) outlets help reduce the risk of electrical shock. GFCIs detect a change in current between the "hot" and "neutral" wires and trip the circuit, shutting off power to the circuit. No GFCI outlets were found during inspection. Recommend installing GFCI outlets in kitchen, bathroom and on all outdoor outlets. All smoke detectors were older than 10 years old. Recommend installing new smoke detectors within 12 feet of bedrooms.

No CO detector was found. Recommend installing CO detector within 12ft of bedrooms.

**Smoke Detectors / GFCI's checked with test button only. Monthly Test Recommended.*

Inspection Date:
03/28/2022

Inspector: Howard Cliver
Inspector Phone: 406-460-1426

Email: howard.cliver@npiinspect.com
NACHI 21101751



HiLine Property Inspections LLC DBA National Property Inspections

Property Address, Shelby, MT, 59474



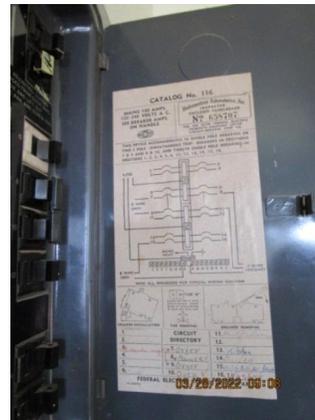
Electrical:



Electrical:



Electrical:



Electrical:



Electrical:



Electrical:

Inspection Date:
03/28/2022

Inspector: Howard Cliver
Inspector Phone: 406-460-1426

Email: howard.cliver@npiinspect.com
NACHI 21101751